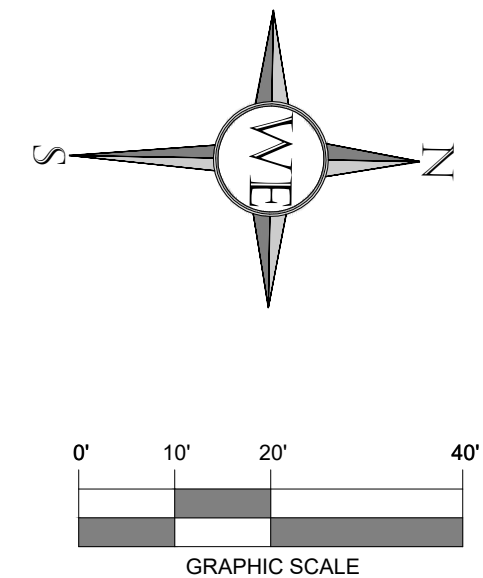


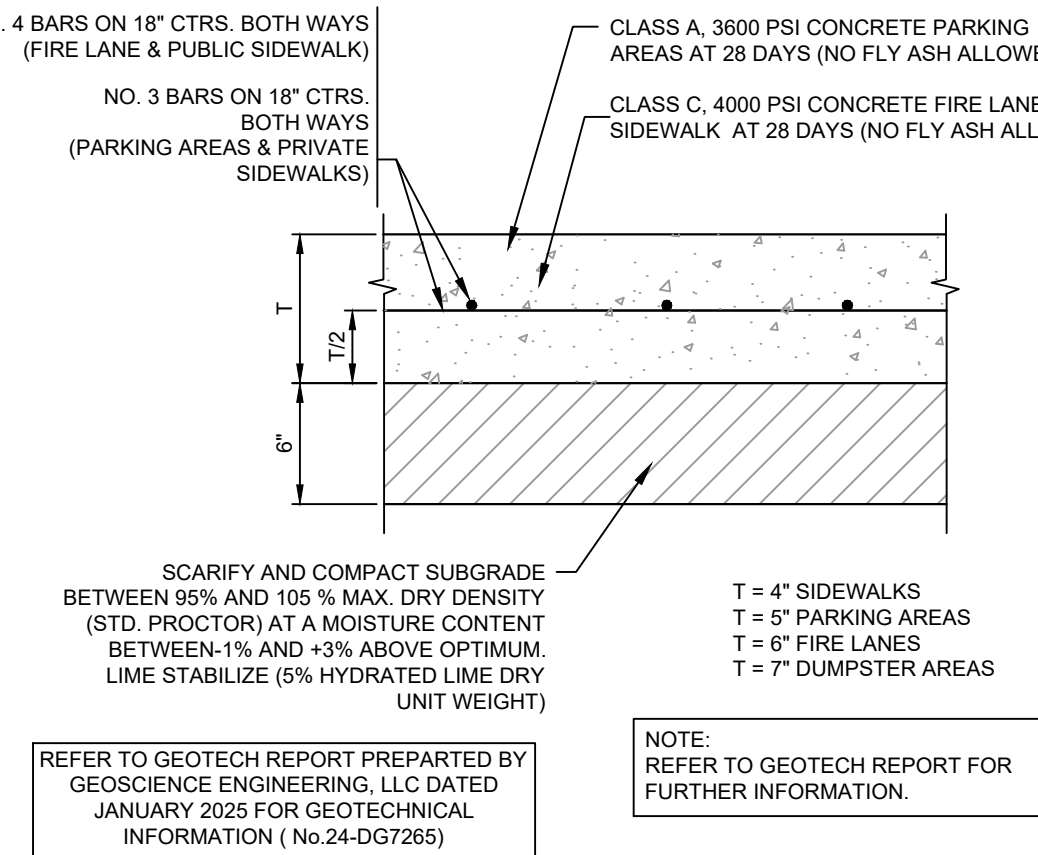
SITE NOTES

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOT PRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUB GRADE PREPARATION REQUIREMENTS.
- COORDINATE INFORMATION FOR RETAINING WALLS ARE LOCATED AT THE FACE OF THE EXPOSED WALL AT GROUND SURFACE ELEVATIONS.
- ALL DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS NOTED OTHERWISE.
- ALL CURB RADII ARE 2' UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR CARPORT AND DUMPSTER ENCLOSURE CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO M.E.P. AND LANDSCAPE PLANS FOR CONDUIT PLACEMENT PRIOR TO PAVING.
- RETAINING WALL MATERIAL AND TYPE SHALL BE APPROVED BY THE OWNER.



LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED FIRE LANE
- EXISTING OVERHEAD POWER LINE
- EXISTING CABLE LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- 7" REINFORCED 3600 PSI CONCRETE PAVEMENT WITH #4 BARS @ 18" O.C. BOTH WAYS (REFER TO THIS SHEET FOR PAVEMENT SECTION)
- 6" REINFORCED 4000 PSI CONCRETE PAVEMENT WITH #4 BARS @ 18" O.C. BOTH WAYS (REFER TO THIS SHEET FOR PAVEMENT SECTION)
- 5" REINFORCED 3600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C. BOTH WAYS (REFER TO THIS SHEET FOR PAVEMENT SECTION)
- 4" REINFORCED 3000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C. BOTH WAYS (REFER TO THIS SHEET FOR PAVEMENT SECTION)
- 4" REINFORCED 4000 PSI CONCRETE PAVEMENT WITH #4 BARS @ 18" O.C. BOTH WAYS (REFER TO THIS SHEET FOR PAVEMENT SECTION) - PUBLIC SIDEWALK
- PROPOSED INTEGRAL STAINED/STAMPED CONCRETE PER CITY OF SACHSE STANDARDS (SEE DETAIL P-11 SHEET C9.01 FOR DETAILS)
- EXISTING INTEGRAL STAINED/STAMPED CONCRETE PER CITY OF SACHSE STANDARDS (SEE DETAIL P-11 SHEET C9.01 FOR DETAILS)
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- BARRIER FREE RAMP (BFR)
- PROPOSED TRANSFORMER LOCATION
- NUMBER OF PARKING SPACES PER ROW
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING STORM MANHOLE
- EXISTING SAN. SWR. MANHOLE
- EXISTING SIGN
- PROPOSED STAINED CONCRETE W/ PARKING STRIPE BORDER (MATCH COLOR AT EXISTING WELCOME MAT)
- MONUMENT SIGN
- GRATE INLET
- CLEANOUT
- DOUBLE CLEANOUT
- PROPOSED GAS METER
- EXISTING ASPHALT PAVEMENT
- PROPOSED LIGHT STANDARD
- PROPOSED SANITARY SEWER MANHOLE



BENCHMARK

- THE SITE BENCHMARK IS AN "X" CUT WITH BOX SET ON THE NORTH NOSE OF A CONCRETE MEDIAN WITHIN MILES ROAD AND BEING LOCATED APPROXIMATELY 320 FEET NORTH FROM THE CENTERLINE INTERSECTION OF MILES ROAD AND BUNKER HILL ROAD.
ELEVATION = 507.73' (NAVD '88)
- THE SITE BENCHMARK IS AN "X" CUT WITH BOX SET ON THE SOUTH NOSE OF A CONCRETE MEDIAN WITHIN MILES ROAD AND BEING LOCATED APPROXIMATELY 660 FEET NORTH FROM THE CENTERLINE INTERSECTION OF MILES ROAD AND BUNKER HILL ROAD.
ELEVATION = 501.56' (NAVD '88)

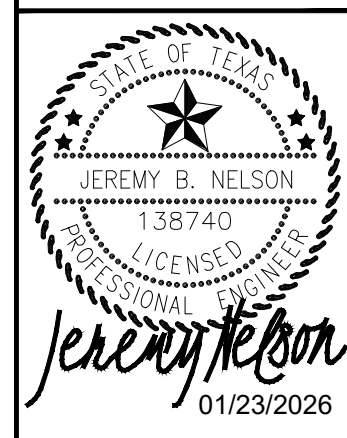
KEY NOTES

- (A) 6" TALL INTEGRAL CONCRETE CURB (REFER TO CONSTRUCTION DETAILS)
- (B) PAINTED FIRE LANE STRIPING (REFER TO CONSTRUCTION DETAILS)
- (C) PROPOSED BARRIER FREE RAMP (REFER TO CONSTRUCTION DETAILS)
- (D) PAINTED ACCESSIBLE SYMBOL (REFER TO CONSTRUCTION DETAILS)
- (E) 4" WIDE WHITE PAINTED STRIPING AT 45° ON 2.0' CENTERS.
- (F) SINGLE 4" WHITE PAINTED STRIPING.
- (G) PROP. DUMPSTER ENCLOSURE (7' TALL MASONRY) (REFER ARCH. PLANS FOR DETAILS)
- (H) PRECAST CONCRETE WHEEL STOP (REFER TO CONSTRUCTION DETAILS)
- (I) CONNECT TO EX. CURB & GUTTER
- (J) 2" DOMESTIC METER (REFER SHEET C7.00 FOR DETAILS)
- (K) 1" IRRIGATION METER (REFER SHEET C7.00 FOR DETAILS)
- (L) PROP. LIGHT STANDARD (TYPICAL) (REFER ARCH. PLANS FOR DETAILS)
- (M) REMOTE FDC



Know what's below.
Call before you dig.

CAUTION!
THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.



LOT 1, BLOCK A, OLD MILES CENTER ADDITION (1.942 AC.)
MILES ROAD & BUNKERHILL ROAD
CITY OF SACHSE, DALLAS COUNTY, TX

DIMENSION CONTROL PLAN

No.	DATE	REVISIONS
1	02/26/2026	ADDED TRANSFORMER & EASEMENTS
2	03/23/2026	UPDATED DUMPSTER DIMENSIONS

DATE	01/12/2026
PROJECT NO.	2501021
SHEET NO.	C3.00