

VANCOE COMMERCIAL



Rockwall Neighborhood Shops

SEC S JOHN KING BLVD & TX-726 | ROCKWALL, TEXAS 75032

A Development By:

SLATE
VENTURES

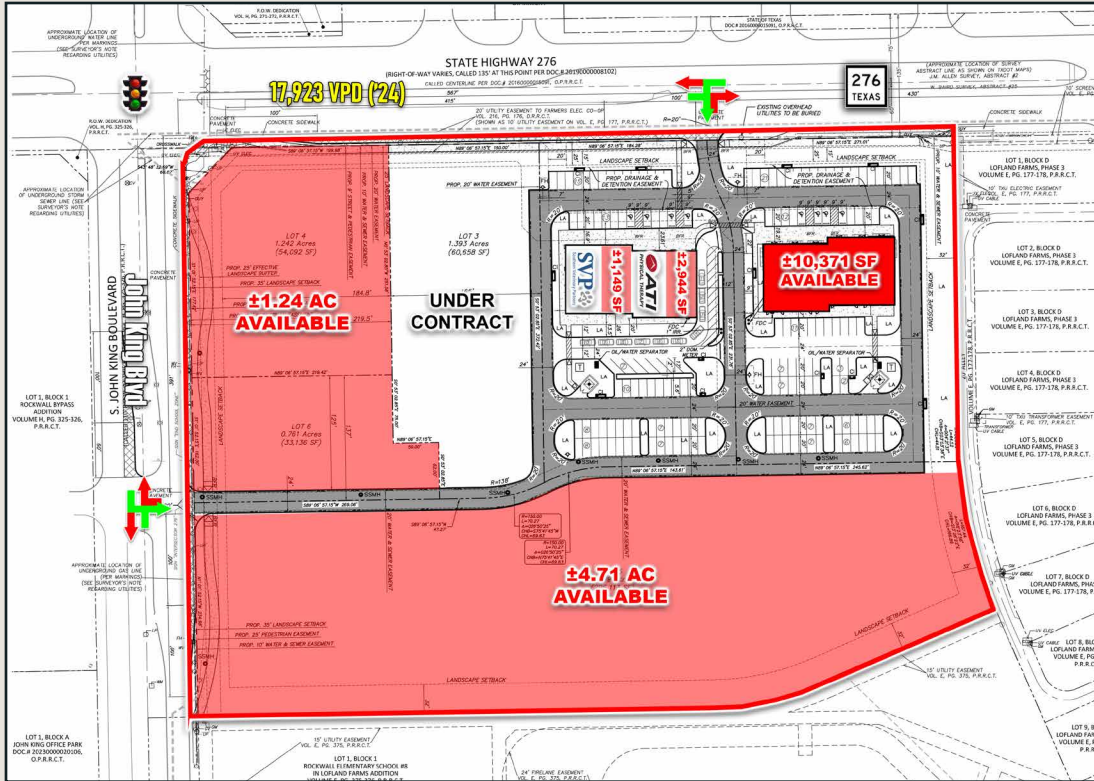
Contact:

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Rockwall Neighborhood Shops

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Property Highlights



LOCATION

SEC of S. John King Boulevard & TX-276
Rockwall, Texas 75032

AVAILABLE

- QSR Pads, Fuel, and Retail Shop Space Available
- +/- 5.95 AC
- +/- 15,000 SF Retail Space

RATE

Call for Details

TRAFFIC COUNTS (TXDOT)

17,923 VPD ('24) TX-276	16,397 VPD ('24) John King Blvd	142,166 VPD ('24) I-30
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HIGHLIGHTS

- Q2 2027 Shop Space delivery
- HEB & Ikea opening 1/4 mile to the north
- +30k VPD at the intersection
- Rockwall Heath High School (9th Grade) + Burton College & Career
- Academy (800 students) one block south
- Area retailers include HEB, Costco, Five Below, HomeGoods, Torchy's, Solman's BBQ, In-N-Out, Raising Cane's, and many more

DEMOGRAPHICS (ESRI)

	1-Mile	3-Mile	5-Mile
2025 Population	6,538	35,516	95,975
2030 Population	7,594	42,555	117,452
Daytime Population	6,077	44,999	89,754
Average HH Income	\$111,521	\$127,011	\$146,680



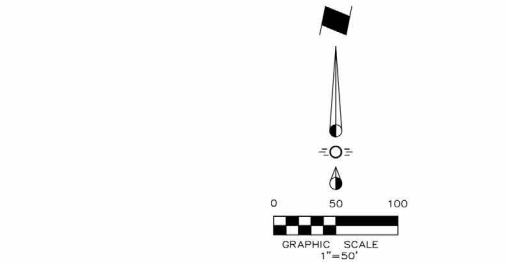
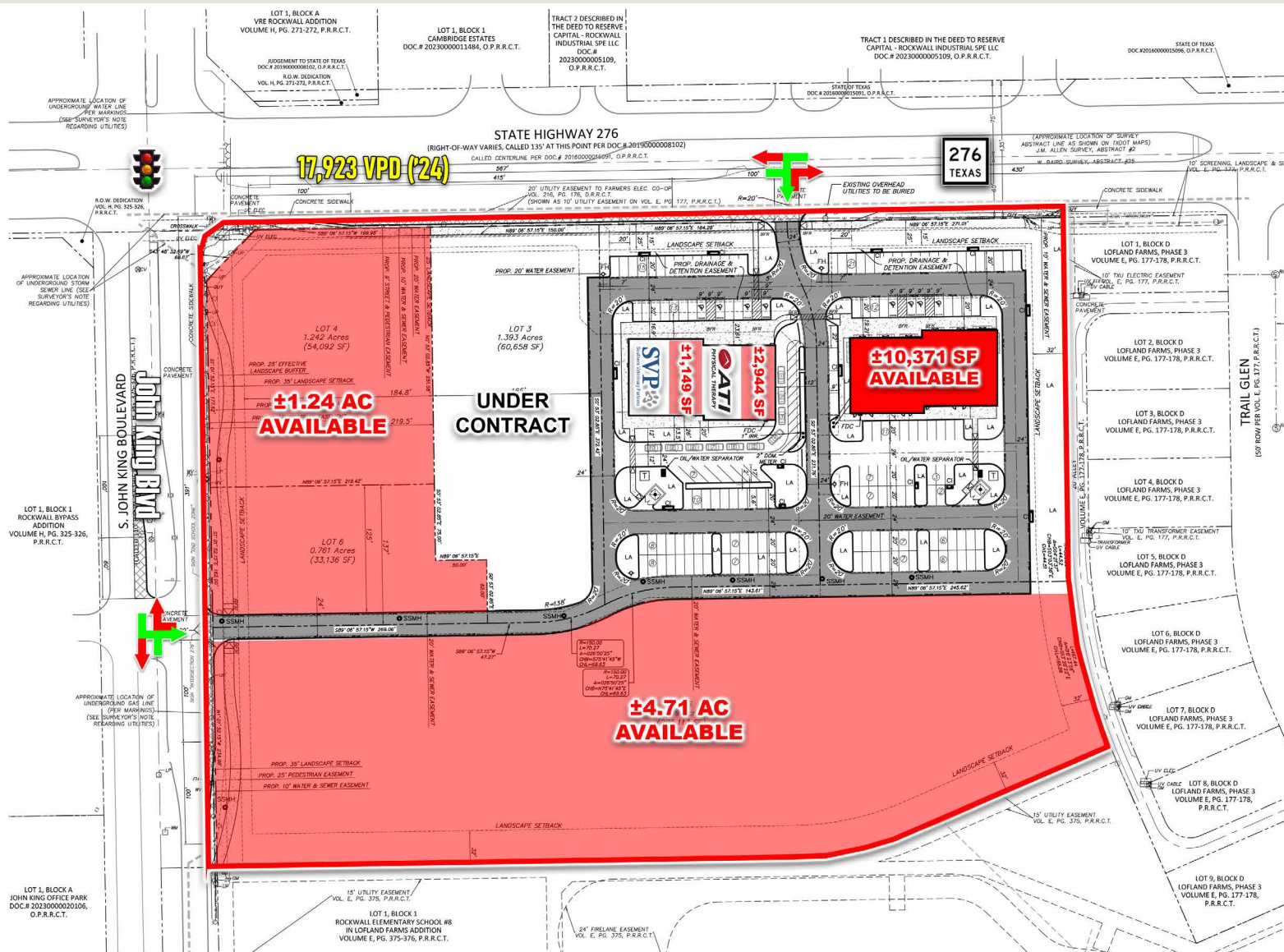
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Floor Plan



LEGEND

- Prop. Fire Lane, Public Access, & Utility Easement
- Proposed Sidewalk
- Proposed R.O.W. Sidewalk
- Proposed Turn Lane (Per TxDOT Standards)
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Proposed Remote FDC
- BFR Barrier Free Ramp (Per City Standard Details)
- LA Landscape Area
- CI Curb Inlet
- SSMH Sanitary Sewer Manhole
- T Transformer
- Proposed Wheel Stop
- Proposed 8' Dumpster Enclosure with Evergreen Shrubs

SITE DATA TABLE

LOT SIZE	LOT 1		LOT 2	
	ACRES	SF	ACRES	SF
	2.034	88,614	1.698	73,961
USE / BUILDING AREA				
RETAIL	2,500 SF - 23.4%	-	-	0 SF - 0%
RESTAURANT (FS)	8,171 SF - 76.6%	4,175 SF - 39.1%		
MEDICAL OFFICE	-	2,500 SF - 23.4%		
ANIMAL CLINIC	-	4,000 SF - 37.5%		
TOTAL	10,671 SF		10,675 SF	
REQUIRED PARKING				
RETAIL (1 PER 250 S.F.)	10 SPACES	0 SPACES		
RESTAURANT (FS) (1 PER 100 S.F.)	82 SPACES	42 SPACES		
MEDICAL OFFICE (1 PER 200 S.F.)	0 SPACES	13 SPACES		
ANIMAL CLINIC (1 PER 500 S.F.)	0 SPACES	8 SPACES		
TOTAL	92 SPACES	55 SPACES		
PARKING PROVIDED	93 SPACES	75 SPACES		
HANDICAP REQUIRED	4 SPACES	4 SPACES		
HANDICAP PROVIDED	4 SPACES	4 SPACES		
LANDSCAPE COVERAGE	26,824 SF - 30.3%	13,212 SF - 17.9%		

* PARKING PROVIDED TOTAL INCLUDES HC PARKING



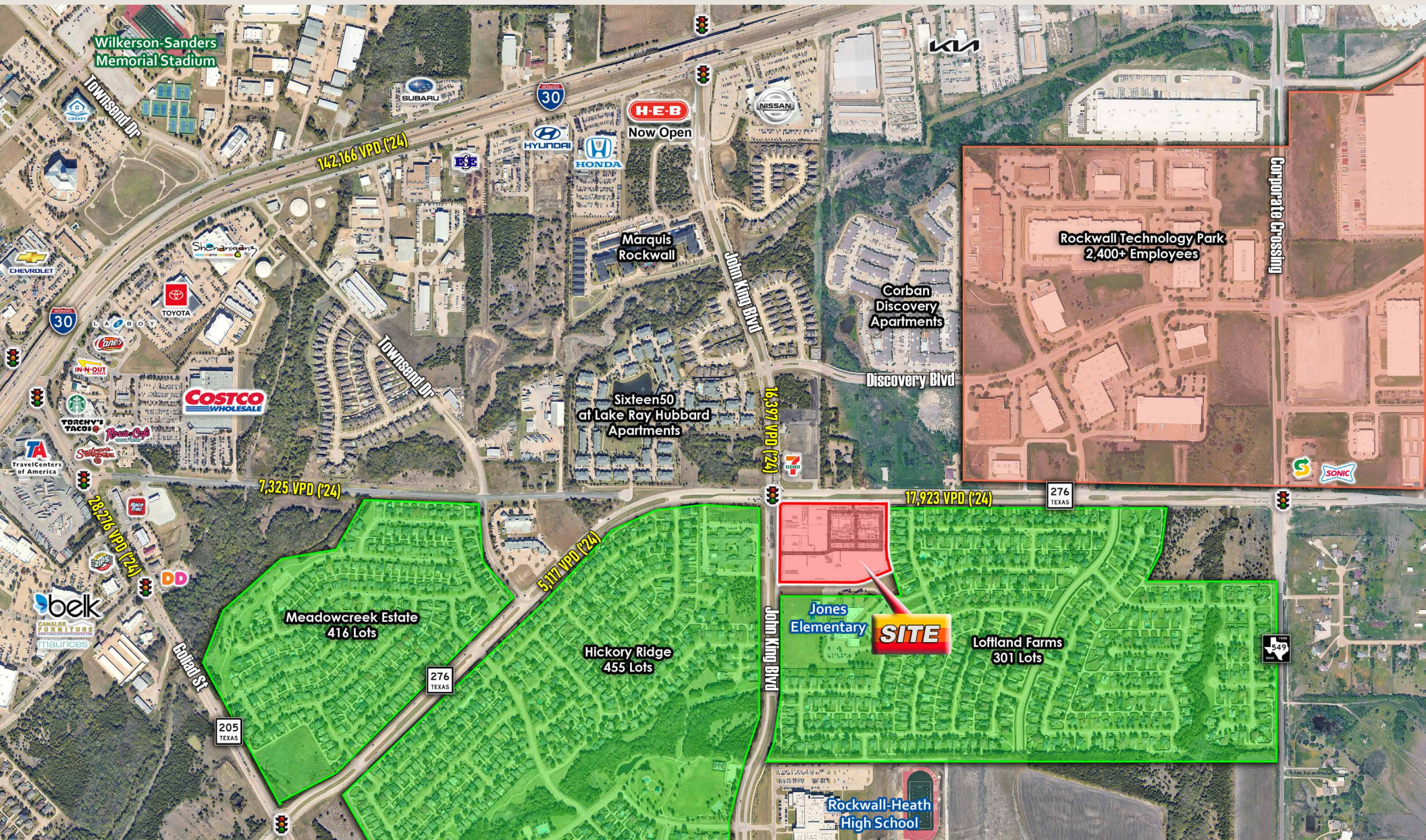
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Site Aerial



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Information About Brokerage Services

2-10-2025



Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

A BROKER is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.

A SALES AGENT must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent. **An owner's agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent. **A buyer/tenant's agent fees are not set by law and are fully negotiable.**

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

The broker's duties and responsibilities to you, and your obligations under the representation agreement.

Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Cal Ryan Fuqua	605847		214-385-2820
Licensed Broker / Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent / Associate	License No.	Email	Phone
Sales Agent / Associate's Name	License No.	Email	Phone

Buyer/Tenant/Seller/Landlord Initials

Date

Regulated by the Texas Real Estate Commission

Information available at www.trec.texas.gov

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